

MACQUARIE RIVULET

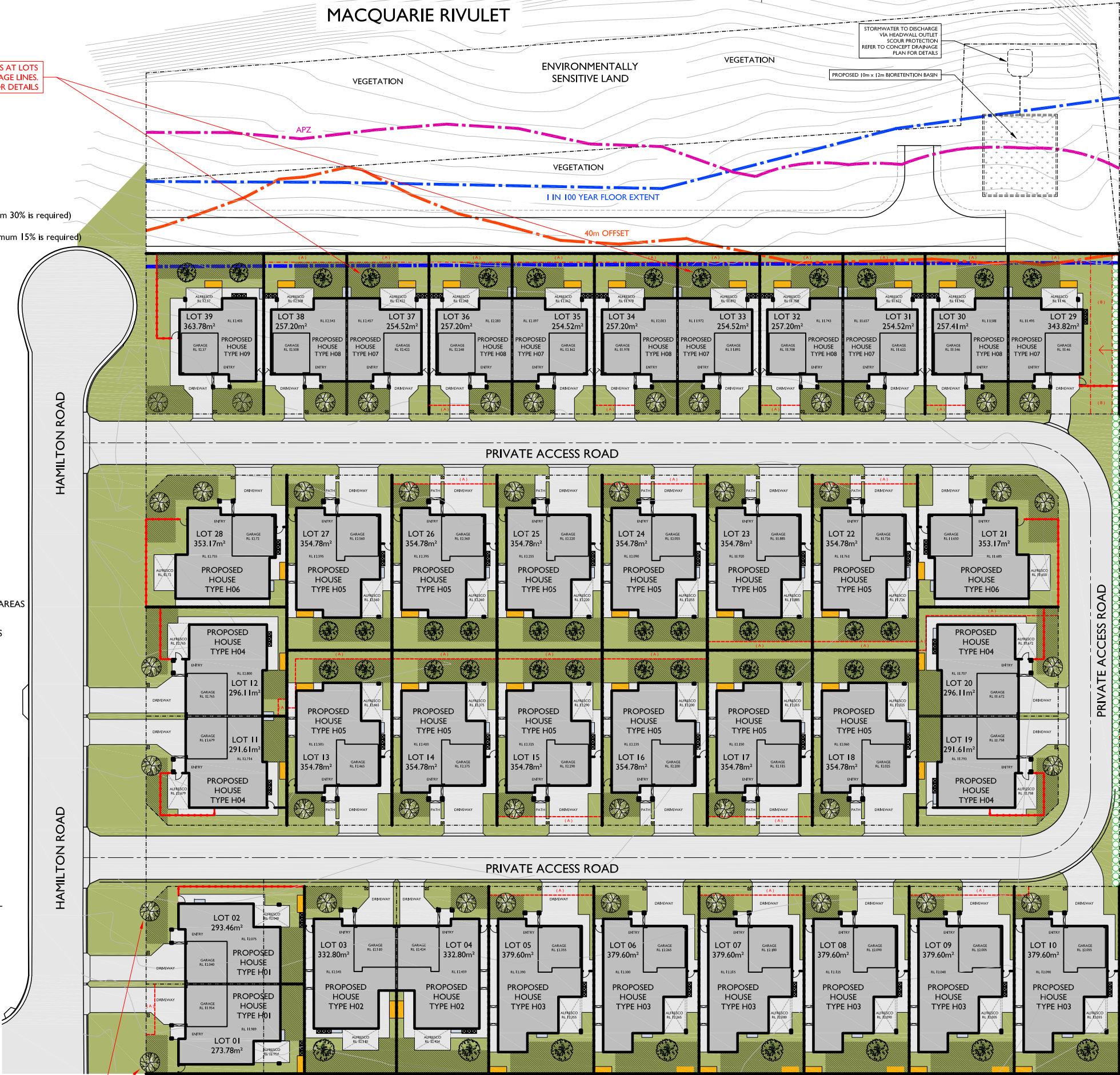
FOR DEVELOPMENT APPLICATION

DEVELOPMENT CALCULATIONS:

SITE AREA: 19442m²
ENVIRONMENTALLY SENSITIVE LAND: 4046.50m²
DEVELOPMENT AREA: 15395.50m²
TOTAL LANDSCAPE AREA: 4900.78m² or 31.83% (minimum 30% is required)
PROPOSED DEEP SOIL ZONE: 2192.35m² or 14.24% (minimum 15% is required)

LEGEND

- SITE BOUNDARY
- SITE FENCING
1800mm HIGH COLORBOND
FENCE TO BOUNDARY
- SITE FENCING
1800mm HIGH OPEN STYLE
FENCE AT POS COURTYARD AREAS
- CONCRETE AREAS
DRIVEWAY, ALFRESCO, PATHS
- LANDSCAPE AREAS
TURF, LANDSCAPE BEDS
DEEP SOIL ZONES, PLANTING
- DEEP SOIL ZONES
- CLOTHES DRYING
- WASTE BIN STORAGE
- LETTER BOX
- RAIN WATER TANK
- APZ ZONE
- 1 IN 100 YEAR FLOOD EXTENT
- 40m OFFSET LINE
- PMF FLOOD LEVEL
- EASEMENT FOR DRAINAGE
OF WATER 1.2m WIDE
- EASEMENT FOR DRAINAGE
OF WATER 3.0m WIDE



LANDSCAPE PLAN

SCALE 1:600 _ A3

SPECIFICATION NOTES:

- GENERAL:
- The landscape plan is to be read in conjunction with the site plan, landscape details, architectural plans, engineers and drainage plans.
 - All concrete works are to adhere to Council specifications and to be to consulting engineers details and selected colors.
 - All walls and hardscape works are to be to engineers details.
 - All wall heights are proposed only and to be confirmed onsite by the contractor. Step all walls as required on site.
 - All plants are to be planted as stated in the plants schedule, plant species must not be substituted without consent from the Suleto Homes.
 - All landscape works are to be maintained for a minimum of (12) months following practical completion. Refer to written specifications.
 - This plan has been designed for the proposed site and purpose only and shall not be copied without written consent from Suleto Homes.

SERVICES:

Before landscape works are commenced onsite, the landscape contractor is to establish the position of all service lines and ensure any proposed tree planting is 3 meters away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes. Finish adjoining surfaces flush with pit lids.

PLANTING MIXTURE:

A premium planter mix must be installed to all planter beds incorporated with existing site top soil. Cultivate to a minimum of 300mm.

MULCH:

Install minimum 75mm of Eucie Mulch or Hardwood Chip to all garden areas.

PLANT MATERIAL:

All plant material is to be grown to current 'Natspec' specifications and must be the same species as listed in the plants schedule on the landscape plan. Generally plants shall be vigorous, well established and good form consistent with the species or variety. Plants are to have a healthy root system with no evidence of root curl or damage. Plants must be free from disease or insect attack. Trees are to have single leader, reject dried out, damaged or unhealthy plant material prior to planting. All stock should be grown for a minimum of (6) months prior to site delivery. Installation: All trees, shrubs and groundcover planting holes are to be dug twice the size and as deep as the specified rootball, sides and base to be cultivated prior to planting, add planting mix as specified and fertilizers specified a compact all soil around rootball.

STAKING:

Trees should be of self supporting stock and staking should be required only for establishment. All staked are to be removed at the completion of the maintenance period. Stakes are to be straight hardwood 50mm x 50mm x 2400mm free from knots or twists and are to be pointed at one end. Drive stakes into the ground approximately one third of their length avoiding any damage to the root system. Provide a 50mm Hessian webbing tie stapled to the stake allowing for stem movement.

FERTILIZER:

Mass Planting Areas: Fertilizer shall be 'Nutricote' or approved equal in granule form intended for slow release of plant nutrients over a period of approximately 9 months. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants. Turf Areas: All turf areas to have an application of 'Shirleys No 17' or approved equal thoroughly mixed into the topsoil prior to turf installation. Trees in Turf / Trees in Mass Planting Beds: Pellets shall be in a form suitable for trees and uniformly release plant food elements for a period of approximately 9 months equal o 'Shirleys Kokef'. Pellets shall be placed in the planting hole at the time of planting 50mm minimum from the rootball at a rate a specified by manufacturer.

TURF:

Turf to be obtained by a specialist grower. Turf is to be an even thickness, free from weeds and other foreign matter. Turf to be well watered in on installation. 'Make Good' of existing road reserve areas or replace if required - Type - Kikuyu.

MAINTENANCE:

All landscape works are to be maintained for a minimum of 12 months following practical completion. All plants are to be well watered and checked for pest and disease and pruned as required o maintain healthy look or required use. Turf areas are to be well watered to maintain vigorous and healthy growth. Turf areas must be top dressed within contractual maintenance period or an application of 'Shirleys No 17' to manufacturers rates.

NOTE:

THE PROPOSED LANDSCAPE PLAN IS COMPATIBLE WITH THE CONCEPT DRAINAGE DESIGN THE PROPOSED LANDSCAPE PLAN IS TO BE READ IN CONJUNCTION WITH THE CIVIL ENGINEERS DOCUMENTATION AND ARCHITECTURAL DRAWINGS

NOTE:


REFER TO CONCEPT DRAINAGE DESIGN FOR:
ALL PROPOSED FLOOR AND SURFACE LEVELS FOR EACH HOUSE / LOT
ALL PROPOSED DRAINAGE EASEMENTS (A) 1.2m WIDE & (B) 3.0m WIDE
FOR ALL PROPOSED RETAINING WALLS

NOTE:

ALL DRAINAGE EASEMENTS ARE:
FREE OF ENCROACHMENTS FROM ANY STRUCTURE AND EAVE OVERHANGS
ARE FREE OF ANY CUT AND FILL PLATFORMS
HAVE NO LOSS OF SUPPORT AS A RESULT OF EXCAVATION
REFER TO ARCHITECTURAL PLANS AND CONCEPT DRAINAGE DESIGN FOR DETAILS



Date:	Description:	Issue:	Notes:
November 2020	FOR DEVELOPMENT APPLICATION	A	Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.

 MARK SPENCE ENVIRONMENTAL & LANDSCAPE SERVICES B.Eng.Sc. (Hons) Dip. Hort. (Landscape Design) Cert. 5 Hort. (Agriculture), MFLA PO Box 739, Wollongong NSW 2520 Phone: (02) 42273950 / 0421642763 Email: mark@markspence.com.au ABN: 54 132 590 517		Project : A retirement village to comprise thirty nine (39) serviced self-care dwellings and private access road at Lot 1, DP 1069961, 14 Hamilton Road, Albion Park 2527, NSW
Drawing Title: GENERAL LANDSCAPE PLAN		
Project No.:	/	Drawing No.: 01
Date:	NOVEMBER 2020	Issue: A
Scale:	1 : 600	Sheet: A3

SPECIFICATION NOTES:

THE PROPOSED LANDSCAPE PLAN IS TO BE READ IN CONJUNCTION WITH THE CIVIL ENGINEERS DOCUMENTATION AND ARCHITECTURAL DRAWINGS

REFER TO CONCEPT DRAINAGE DESIGN FOR:

ALL PROPOSED FLOOR AND SURFACE LEVELS FOR EACH HOUSE / LOT

ALL PROPOSED DRAINAGE EASEMENTS 1.2m WIDE

FOR ALL PROPOSED RETAINING WALLS

ALL DRAINAGE EASEMENTS ARE:

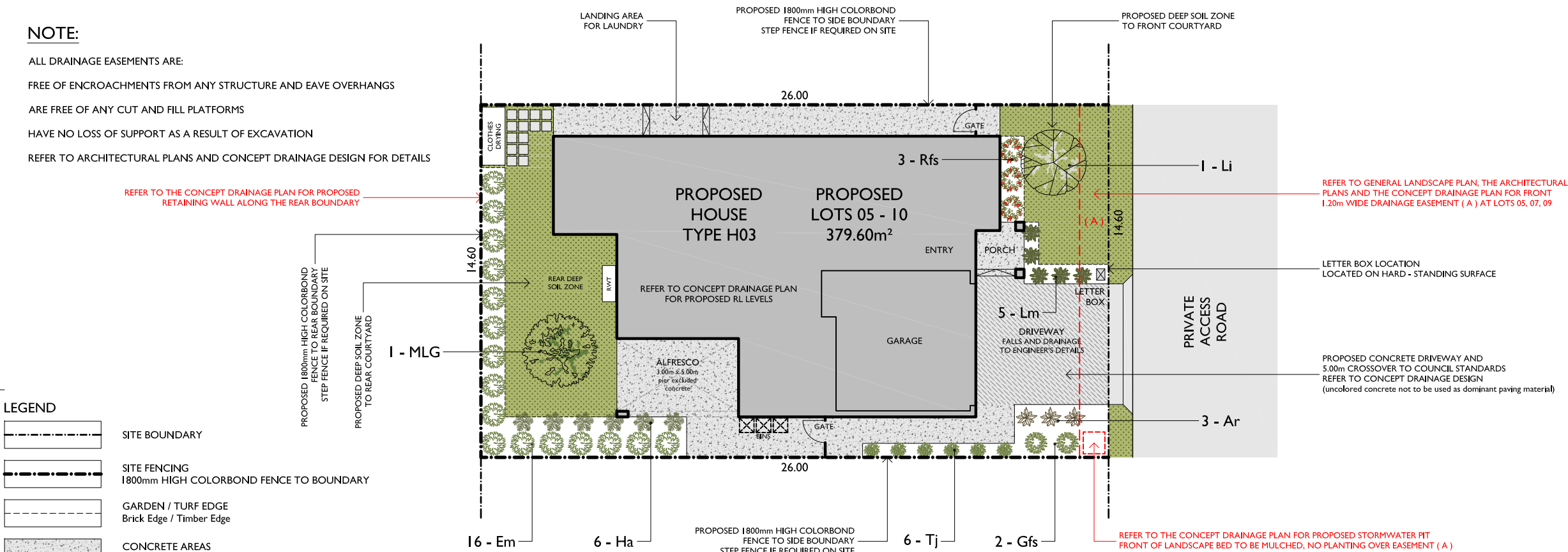
FREE OF ENCROACHMENTS FROM ANY STRUCTURE AND EAVE OVERHANGS

ARE FREE OF ANY CUT AND FILL PLATFORMS

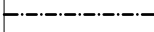


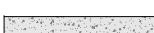
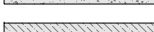
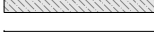





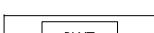
HAVE NO LOSS OF SUPPORT AS A RESULT OF EXCAVATION

REFER TO ARCHITECTURAL PLANS AND CONCEPT DRAINAGE DESIGN FOR DETAILS

UNCOLORED CONCRETE NOT TO BE USED AS
DOMINANT PAVING MATERIAL FOR THE DRIVEWAY.



LEGEND

	SITE BOUNDARY
	SITE FENCING 1800mm HIGH COLORBOND FENCE TO BOUNDARY
	GARDEN / TURF EDGE Brick Edge / Timber Edge
	CONCRETE AREAS ALFRESCO & PATHWAYS
	COLORLED CONCRETE DRIVEWAY AREA
	STEPPING PADS 400x400mm Concrete Paver
	TURF AREAS
	CLOTHES DRYING
	WASTE BIN STORAGE
	LETTER BOX
	RAIN WATER TANK
	EASEMENT FOR DRAINAGE OF WATER 1.2m WIDE

PLANTING SCHEDULE

ID	Botanic Name	Common Name	Quantity	Scheduled Size
Ar	Ajuga reptans	Common Bugle	3	150mm
Em	Escallonia macrantha	Common Escallonia	16	200mm
Gfs	Gardenia jasminoides	Gardenia 'Four Seasons'	2	200mm
Ha	Heliotropium arborescens	Cherry Pie	6	200mm
Li	Lagerstroemia indica	Crape Myrtle	1	75Lx
Lm	Liriope Muscari	Liriope	5	150mm
MLG	Magnolia 'Little Gem'	Dwarf Evergreen Magnolia	1	75Lx
Rfc	Rosa 'Red Flower Carpet'	Rose	3	150mm
Tj	Trachelospermum jasminoides	Chinese Star Jasmine	6	150mm

LANDSCAPE CALCULATIONS:

LANDSCAPED AREA:


SITE AREA: 379.60m²

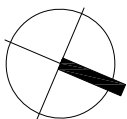
TOTAL LANDSCAPE AREA: 115.90m² or 30.53% (minimum 30% is required)

PROPOSED DEEP SOIL ZONE: 64.00m² or 16.85% (minimum 15% is required)

TYPICAL LANDSCAPE PLAN - TYPE H03

SCALE 1:200 A3

Date:	Description:	Issue:	Notes: Verify all dimensions on site and refer any discrepancies before proceeding with the works. These drawings are not to be scaled. Figured dimensions shall be used in all cases. This drawing is to be read in conjunction with other documentation in the drawing set.	
November 2020	FOR DEVELOPMENT APPLICATION	A		



Project :	A retirement village to comprise thirty nine (39) serviced self-care dwellings and private access road at Lot 1, DP 1069961, 14 Hamilton Road, Albion Park 2527, NSW			
Drawing Title:	TYPICAL LANDSCAPE PLAN FOR 3 BEDROOM HOUSES - TYPE H03 - LOTS 05 - 10			
Project No.:	/			Drawing No.: 02
Date:	NOVEMBER 2020	Scale: 1 : 200	Sheet: A3	Issue: A

GENERAL:

- The landscape plan is to be read in conjunction with the site plan, landscape details, architectural plans, engineers and drainage plans.
- All concrete works are to adhere to Council specifications and to be to consulting engineers details and selected colors.
- All walls and hardscape works are to be to engineers details.
- All wall heights are proposed only and to be confirmed onsite by the contractor. Step all walls as required on site.
- All plants are to be planted as stated in the plants schedule, plant species must not be substituted without consent from the Siletto Homes.
- All landscape works are to be maintained for a minimum of (12) months following practical completion. Refer to written specifications.
- This plan has been designed for the proposed site and purpose only and shall not be copied without written consent from Siletto Homes.

SERVICES:

Before landscape works are commenced onsite, the landscape contractor is to establish the position of all service lines and ensure any proposed tree planting is 3 meters away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes. Finish adjoining surfaces flush with pit lids.

PLANTING MIXTURE:

A premium planter mix must be installed to all planter beds incorporated with existing site top soil. Cultivate to a minimum of 300mm.

MULCH:

Install minimum 75mm of Euchie Mulch or Hardwood Chip to all garden areas.

PLANT MATERIAL

All plant material is to be grown to current "Natspec" specifications and must be the same species as listed in the plants schedule on the landscape plan. Generally plants shall be vigorous, well established and good form consistent with the species or variety. Plants are to have a healthy root system with no evidence of root curl or damage. Plants must be free from disease or insect attack.

Trees are to have single leader, reject dried out, damaged or unhealthy plant material prior to planting. All stock should be grown for a minimum of (6) months prior to site delivery.

Installation: All trees, shrubs and groundcover planting holes are to be dug twice the size and as deep as the specified rootball, sides and base to be cultivated prior to planting, add planting mix as specified and fertilizers specified a compact all soil around rootball.

STAKING:

Trees should be of self supporting stock and staking should be required only for establishment. All stacked are to be removed at the completion of the maintenance period. Stakes are to be straight hardwood 50mm x 50mm x 2400mm free from knots or twists and are to be pointed at one end. Drive stakes into the ground approximately one third of their length avoiding any damage to the root system. Provide a 50mm Hessian webbing tie stapled to the stake allowing for stem movement.

FERTILIZER:

Mass Planting Areas: Fertilizer shall be 'Nutricote' or approved equal in granule form intended for slow release of plant nutrients over a period of approximately 9 months. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants.

Turf Areas: All turf areas to have an application of 'Shirleys No 17' or approved equal thoroughly mixed into the topsoil prior to turf installation.

Trees in Turf / Trees in Mass Planting Beds: Pellets shall be in a form suitable for trees and uniformly release plant food elements for a period of approximately 9 months equal o 'Shirleys Kokek'. Pellets shall be placed in the planting hole at the time of planting 50mm minimum from the rootball at a rate as specified by manufacturer.

TURF:

Turf to be obtained by a specialist grower. Turf is to be an even thickness, free from weeds and other foreign matter. Turf to be well watered in on installation.

'Make Good' of existing road reserve areas or replace if required - Type - Kikuyu.

MAINTENANCE:

All landscape works are to be maintained for a minimum of 12 months following practical completion. All plants are to be well watered and checked for pest and disease and pruned as required o maintain healthy look or required use.

Turf areas are to be well watered to maintain vigorous and healthy growth. Turf areas must be top dressed within contractual maintenance period or an application of 'Shirleys No 17' to manufacturers rates.

Areas :	(m ²)
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PROPOSED LOT FOR TYPE H03	379.60 m ²
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NOTE:

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NOTE:

REFER TO CONCEPT DRAINAGE DESIGN FOR:

ALL PROPOSED FLOOR AND SURFACE LEVELS FOR EACH HOUSE / LOT

ALL PROPOSED DRAINAGE EASEMENTS 1.2m WIDE

FOR ALL PROPOSED RETAINING WALLS

NOTE:

ALL DRAINAGE EASEMENTS ARE:

FREE OF ENCROACHMENTS FROM ANY STRUCTURE AND EAVE OVERHANGS

ARE FREE OF ANY CUT AND FILL PLATFORMS

HAVE NO LOSS OF SUPPORT AS A RESULT OF EXCAVATION

REFER TO ARCHITECTURAL PLANS AND CONCEPT DRAINAGE DESIGN FOR DETAILS

NOTE:

UNCOLORED CONCRETE NOT TO BE USED AS DOMINANT PAVING MATERIAL FOR THE DRIVEWAY.

FOR DEVELOPMENT APPLICATION

SPECIFICATION NOTES:

GENERAL:

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SERVICES:

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PLANTING MIXTURE:

A premium planter mix must be installed to all planter beds incorporated with existing site top soil. Cultivate to a minimum of 300mm.

MULCH:

Install minimum 75mm of Euchie Mulch or Hardwood Chip to all garden areas.

PLANT MATERIAL:

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Trees are to have single leader, reject dried out, damaged or unhealthy plant material prior to planting. All stock should be grown for a minimum of (6) months prior to site delivery.

Installation: All trees , shrubs and groundcover planting holes are to be dug twice the size and as deep as the specified rootball, sides and base to be cultivated prior to planting, add planting mix as specified and fertilizers specified a compact all soil around rootball.

STAKING:

Trees should be of self supporting stock and staking should be required only for establishment. All stacked are to be removed at the completion of the maintenance period. Stakes are to be straight hardwood 50mm x 50mm x 2400mm free from knots or twists and are to be pointed at one end. Drive stakes into the ground approximately one third of their length avoiding any damage to the root system. Provide a 50mm Hessian webbing tie stapled to the stake allowing for stem movement.

FERTILIZER:

Mass Planting Areas: Fertilizer shall be 'Nutricote' or approved equal in granule form intended for slow release of plant nutrients over a period of approximately 9 months. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants.

Turf Areas: All turf areas to have an application of 'Shirleys No 17' or approved equal thoroughly mixed into the topsoil prior to turf installation.

Trees in Turf / Trees in Mass Planting Beds: Pellets shall be in a form suitable for trees and uniformly release plant food elements for a period of approximately 9 months equal o 'Shirleys Kokef'. Pellets shall be placed in the planting hole at the time of planting 50mm minimum from the rootball at a rate a specified by manufacturer.

TURF:

Turf to be obtained by a specialist grower. Turf is to be an even thickness, free from weeds and other foreign matter. Turf to be well watered in on installation.

'Make Good' of existing road reserve areas or replace if required - Type - Kikuyu.

MAINTENANCE:

All landscape works are to be maintained for a minimum of 12 months following practical completion. All plants are to be well watered and checked for pest and disease and pruned as required o maintain healthy look or required use.

Turf areas are to be well watered to maintain vigorous and healthy growth. Turf areas must be top dressed within contractual maintenance period or an application of 'Shirleys No 17' to manufacturers rates.

LEGEND

	SITE BOUNDARY
	SITE FENCING 1800mm HIGH COLORBOND FENCE TO BOUNDARY
	GARDEN / TURF EDGE Brick Edge / Timber Edge
	CONCRETE AREAS ALFRESCO & PATHWAYS
	COLORLED CONCRETE DRIVEWAY AREA
	STEPPING PADS 400x400mm Concrete Paver
	TURF AREAS
	CLOTHES DRYING
	WASTE BIN STORAGE
	LETTER BOX
	RAIN WATER TANK
	EASEMENT FOR DRAINAGE OF WATER 1.2m WIDE

PLANTING SCHEDULE

ID	Botanic Name	Common Name	Quantity	Scheduled Size
Ad	Alternanthera Dentata	Joy Weed	3	200mm
Dw	Dianella 'Wyeena'	Dianella	4	140mm
Em	Escallonia macrantha	Common Escallonia	14	200mm
Gfs	Gardenia jasminoides	Gardenia 'Four Seasons'	3	200mm
Li	Lagerstroemia indica	Crepe Myrtle	1	75Lt
Llw	Lomandra cylindrica 'Lime Wave'	Mat Rush	2	200mm
MLG	Magnolia 'Little Gem'	Dwarf Evergreen Magnolia	2	75Lt
Rfc	Rosa 'Red Flower Carpet'	Rose	3	150mm

LANDSCAPE CALCULATIONS:

LANDSCAPED AREA:

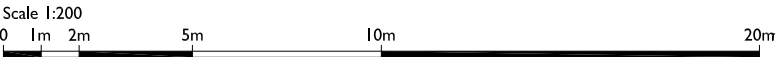
SITE AREA: 354.78m²

TOTAL LANDSCAPE AREA: 114.25m² or 32.20% (minimum 30% is required)

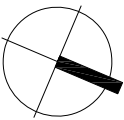
PROPOSED DEEP SOIL ZONE: 53.83m² or 15.17% (minimum 15% is required)

TYPICAL LANDSCAPE PLAN - TYPE H05

SCALE 1:200 _ A3



Date:	Description:	Issue:	Notes:	
November 2020	FOR DEVELOPMENT APPLICATION	A		
			Verify all dimensions on site and refer any discrepancies before proceeding with the works.	
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	Project :	A retirement village to comprise thirty nine (39) serviced self-care dwellings and private access road at Lot 1, DP 1069961, 14 Hamilton Road, Albion Park 2527, NSW		
	Drawing Title:	TYPICAL LANDSCAPE PLAN FOR 2 BEDROOM HOUSES - TYPE H05 - LOTS 13 - 18		
	Project No.:	/	Drawing No.:	03
	Date:	NOVEMBER 2020	Scale:	1 : 200
			Sheet:	A3
			Issue:	A

FOR DEVELOPMENT APPLICATION

NOTE:

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THE PROPOSED LANDSCAPE PLAN IS TO BE READ IN CONJUNCTION WITH THE CIVIL ENGINEERS DOCUMENTATION AND ARCHITECTURAL DRAWINGS

NOTE:

REFER TO CONCEPT DRAINAGE DESIGN FOR:

ALL PROPOSED FLOOR AND SURFACE LEVELS FOR EACH HOUSE / LOT

ALL PROPOSED DRAINAGE EASEMENTS 1.2m WIDE

FOR ALL PROPOSED RETAINING WALLS

NOTE:

ALL DRAINAGE EASEMENTS ARE:

FREE OF ENCROACHMENTS FROM ANY STRUCTURE AND EAVE OVERHANGS

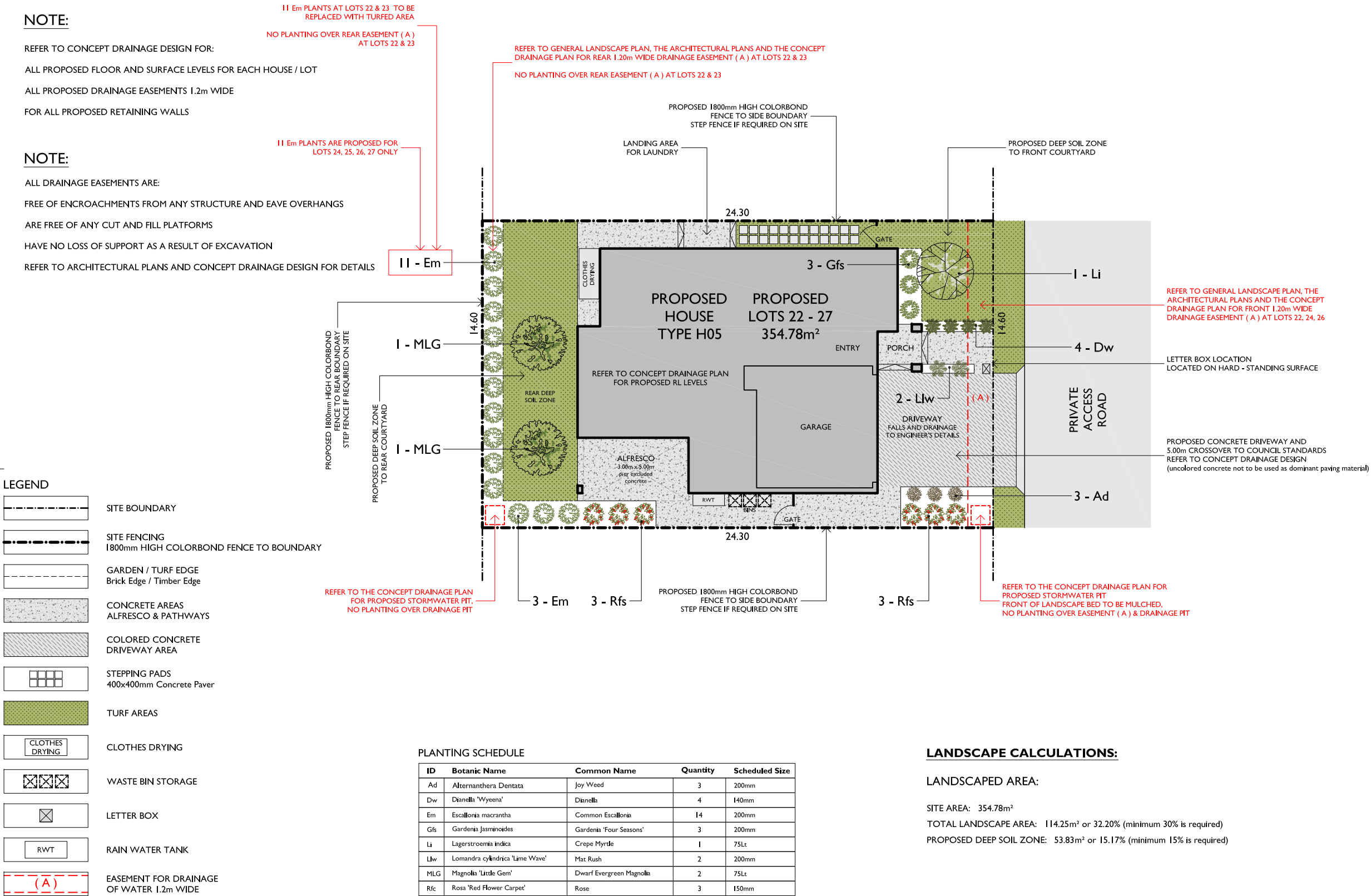
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NOTE:

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SPECIFICATION NOTES:

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PLANTING MIXTURE:

A premium planter mix must be installed to all planter beds incorporated with existing site top soil. Cultivate to a minimum of 300mm.

MULCH:

Install minimum 75mm of Eucly Mulch or Hardwood Chip to all garden areas.

PLANT MATERIAL:

All plant material is to be grown to current 'Natspec' specifications and must be the same species as listed in the plants schedule on the landscape plan. Generally plants shall be vigorous, well established and good form consistent with the species or variety. Plants are to have a healthy root system with no evidence of root curl or damage. Plants must be free from disease or insect attack.

Trees are to have single leader, reject dried out, damaged or unhealthy plant material prior to planting. All stock should be grown for a minimum of (6) months prior to site delivery.

Installation: All trees, shrubs and groundcover planting holes are to be dug twice the size and as deep as the specified rootball, sides and base to be cultivated prior to planting, add planting mix as specified and fertilizers specified a compact all soil around rootball.

STAKING:

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FERTILIZER:

Mass Planting Areas: Fertilizer shall be 'Nutricote' or approved equal in granule from intended for slow release of plant nutrients over a period of approximately 9 months. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants.

Turf Areas: All turf areas to have an application of 'Shirleys No 17' or approved equal thoroughly mixed into the topsoil prior to turf installation.

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TURF:

Turf to be obtained by a specialist grower. Turf is to be an even thickness, free from weeds and other foreign matter. Turf to be well watered in on installation.

'Make Good' of existing road reserve areas or replace if required - Type - Kikuyu.

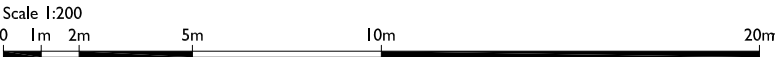
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TYPICAL LANDSCAPE PLAN - TYPE H05

SCALE 1:200 _ A3



Date:	Description:	Issue:	Notes:
November 2020	FOR DEVELOPMENT APPLICATION	A	
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 MARK SPENCE ENVIRONMENTAL & LANDSCAPE SERVICES B.Eng.Sc. (Hons) Dip Hort. (Landscape Design) Cert. 5 Hort. (Agriculture), MFLA PO Box 739, Wollongong NSW 2520 Phone: (02) 42273650 / 0421642763 Email: mark.spence@markspence.com.au ABN: 54 132 590 517	Project :	A retirement village to comprise thirty nine (39) serviced self-care dwellings and private access road at Lot 1, DP 1069961, 14 Hamilton Road, Albion Park 2527, NSW		
	Drawing Title:	TYPICAL LANDSCAPE PLAN FOR 2 BEDROOM HOUSES - TYPE H05 - LOTS 22 - 27		
	Project No.:	/	Drawing No.:	04
	Date:	NOVEMBER 2020	Scale:	1 : 200
	Sheet:	A3	Issue:	A

NOTE:

THE PROPOSED LANDSCAPE PLAN IS COMPATIBLE WITH THE CONCEPT DRAINAGE DESIGN

THE PROPOSED LANDSCAPE PLAN IS TO BE READ IN CONJUNCTION WITH THE CIVIL ENGINEERS DOCUMENTATION AND ARCHITECTURAL DRAWINGS

NOTE:

REFER TO CONCEPT DRAINAGE DESIGN FOR:

ALL PROPOSED FLOOR AND SURFACE LEVELS FOR EACH HOUSE / LOT

ALL PROPOSED DRAINAGE EASEMENTS 1.2m WID

FOR ALL PROPOSED RETAINING WALLS

NOTE:

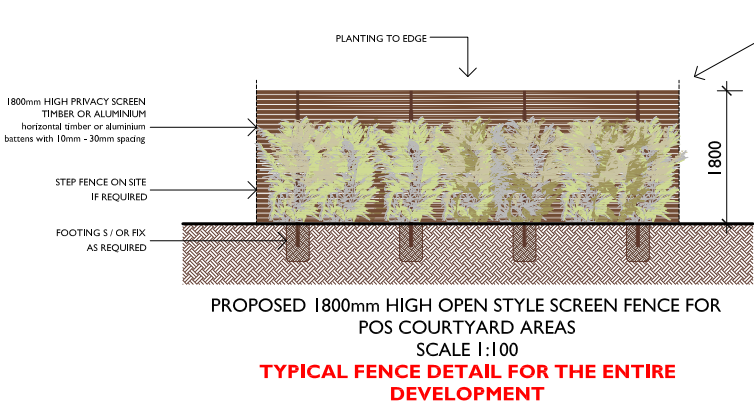
ALL DRAINAGE EASEMENTS ARE:

FREE OF ENCROACHMENTS FROM ANY STRUCTURE AND EAVE OVERHANGS

ARE FREE OF ANY CUT AND FILL PLATFORMS

HAVE NO LOSS OF SUPPORT AS A RESULT OF EXCAVATION

REFER TO ARCHITECTURAL PLANS AND CONCEPT DRAINAGE DESIGN FOR DETAILS

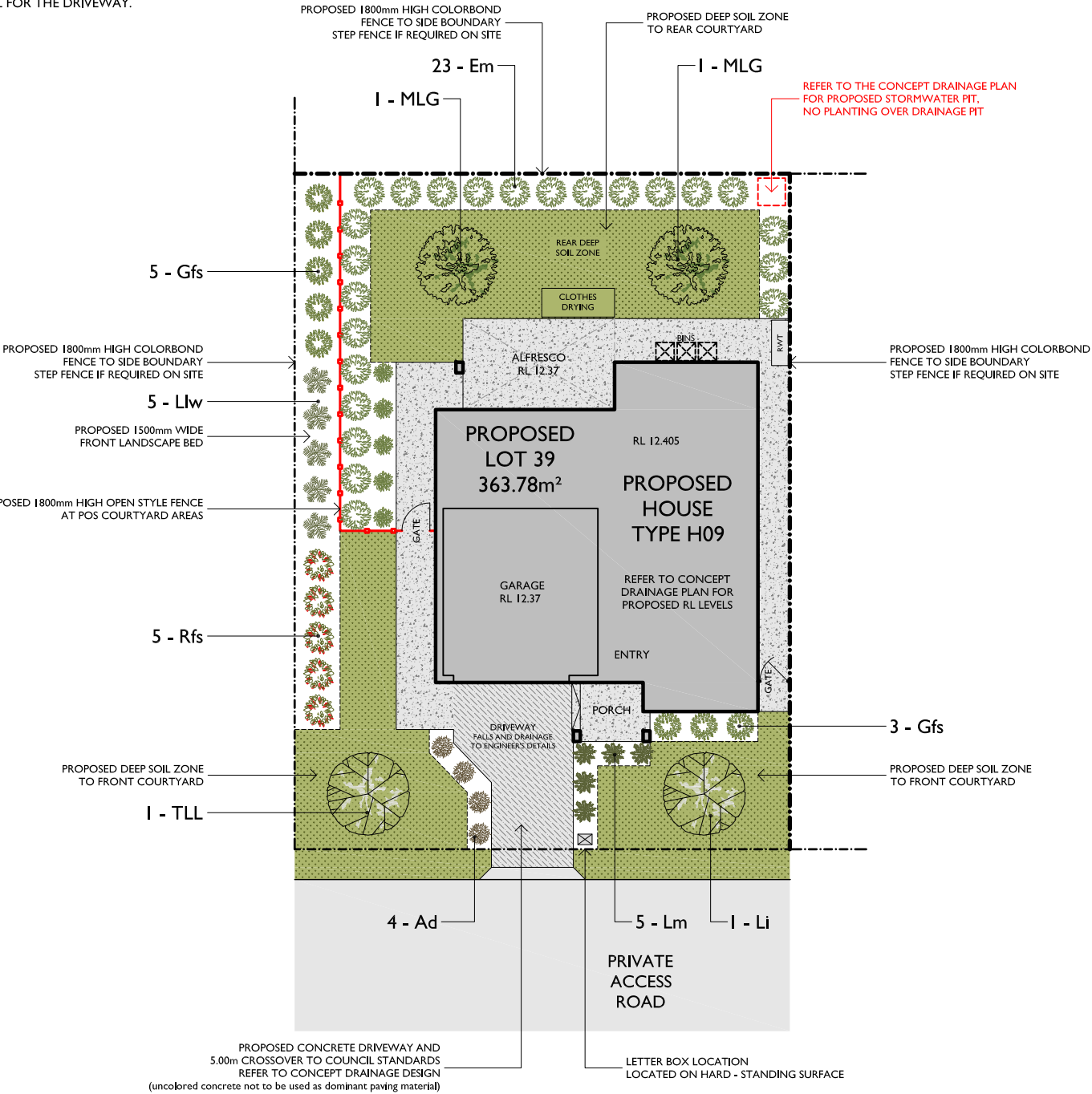


LEGEND

	SITE BOUNDARY
	SITE FENCING 1800mm HIGH COLORBOND FENCE TO BOUNDARY
	SITE FENCING 1800mm HIGH OPEN STYLE FENCE AT POS COURTYARD AREAS
	GARDEN / TURF EDGE Brick Edge / Timber Edge
	CONCRETE AREAS ALFRESCO & PATHWAYS
	COLORLED CONCRETE DRIVEWAY AREA
	TURF AREAS
	CLOTHES DRYING
	WASTE BIN STORAGE
	LETTER BOX
	RAIN WATER TANK

NOTE:

UNCOLORED CONCRETE NOT TO BE USED AS DOMINANT PAVING MATERIAL FOR THE DRIVEWAY.



SPECIFICATION NOTES:

GENERAL:

- The landscape plan is to be read in conjunction with the site plan, landscape details, architectural plans, engineers and drainage plans.
- All concrete works are to adhere to Council specifications and to be to consulting engineers details and selected colors.
- All walls and hardscape works are to be to engineers details.
- All wall heights are proposed only and to be confirmed onsite by the contractor. Step all walls as required on site.
- All plants are to be planted as stated in the plants schedule, plant species must not be substituted without consent from the Suleto Homes.
- All landscape works are to be maintained for a minimum of (12) months following practical completion. Refer to written specifications.
- This plan has been designed for the proposed site and purpose only and shall not be copied without written consent from Suleto Homes.

SERVICES:

Before landscape works are commenced onsite, the landscape contractor is to establish the position of all service lines and ensure any proposed tree planting is 3 meters away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes. Finish adjoining surfaces flush with pit lids.

PLANTING MIXTURE:

A premium planter mix must be installed to all planter beds incorporated with existing site top soil. Cultivate to a minimum of 300mm.

MULCH:

Install minimum 75mm of Euchie Mulch or Hardwood Chip to all garden areas.

PLANT MATERIAL:

All plant material is to be grown to current 'Natspec' specifications and must be the same species as listed in the plants schedule on the landscape plan. Generally plants shall be vigorous, well established and good form consistent with the species or variety. Plants are to have a healthy root system with no evidence of root curl or damage. Plants must be free from disease or insect attack. Trees are to have single leader, reject dried out, damaged or unhealthy plant material prior to planting. All stock should be grown for a minimum of (6) months prior to site delivery. Installation: All trees, shrubs and groundcover planting holes are to be dug twice the size and as deep as the specified rootball, sides and base to be cultivated prior to planting, add planting mix as specified and fertilizers specified a compact all soil around rootball.

STAKING:

Trees should be of self supporting stock and staking should be required only for establishment. All stacked are to be removed at the completion of the maintenance period. Stakes are to be straight hardwood 50mm x 50mm x 2400mm free from knots or twists and are to be pointed at one end. Drive stakes into the ground approximately one third of their length avoiding any damage to the root system. Provide a 50mm Hessian webbing tie stapled to the stake allowing for stem movement.

FERTILIZER:

Mass Planting Areas: Fertilizer shall be 'Nutricote' or approved equal in granule from intended for slow release of plant nutrients over a period of approximately 9 months. Thoroughly mix fertilizer with planting mixture at the recommended rate, prior to installing plants.

Turf Areas: All turf areas to have an application of 'Shirleys No 17' or approved equal thoroughly mixed into the topsoil prior to turf installation.

Trees in Turf / Trees in Mass Planting Beds: Pellets shall be in a form suitable for trees and uniformly release plant food elements for a period of approximately 9 months equal o 'Shirleys Kokef'. Pellets shall be placed in the planting hole at the time of planting 50mm minimum from the rootball at a rate a specified by manufacturer.

TURF:

Turf to be obtained by a specialist grower. Turf is to be an even thickness, free from weeds and other foreign matter. Turf to be well watered in on installation.

'Make Good' of existing road reserve areas or replace if required - Type - Kikuyu.

MAINTENANCE:

All landscape works are to be maintained for a minimum of 12 months following practical completion. All plants are to be well watered and checked for pest and disease and pruned as required o maintain healthy look or required use.

Turf areas are to be well watered to maintain vigorous and healthy growth. Turf areas must be top dressed within contractual maintenance period or an application of 'Shirleys No 17' to manufacturers rates.

LANDSCAPE CALCULATIONS:

LANDSCAPED AREA:

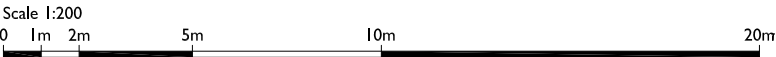
SITE AREA: 363.78m²

TOTAL LANDSCAPE AREA: 180.75m² or 49.68% (minimum 30% is required)

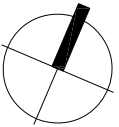
PROPOSED DEEP SOIL ZONE: 101.50m² or 27.90% (minimum 15% is required)


TYPICAL LANDSCAPE PLAN - TYPE H09

SCALE 1:200 _ A3



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 <div>MARK SPENCE ENVIRONMENTAL & LANDSCAPE SERVICES 8 Elm St, (Horns) (Opposite) Sandstone Design Cent. 5 Hour. (Admission) MFLA PO Box 739, Wollongong NSW 2520 Phone: (02) 42273650 / 0421642763 Email: mark.spence@markspence.com.au ABN: 54 132 590 517</div>	Project : A retirement village to comprise thirty nine (39) serviced self-care dwellings and private access road at Lot 1, DP 1069961, 14 Hamilton Road, Albion Park 2527, NSW				
	Drawing Title: LANDSCAPE PLAN FOR 1 BEDROOM HOUSE - TYPE H09 - LOT 39				
	Project No.: /				Drawing No.: 05
	Date: NOVEMBER 2020	Scale: 1 : 200	Sheet: A3	Issue: A	